

CERTIFICATE AS TO RESOLUTION AND ADOPTING VOTE

I, the undersigned, being the duly qualified and acting recording officer of the City of Billings, Montana (the City), hereby certify that the attached resolution is a true copy of Resolution No. 00-17542, entitled: **RESOLUTION RELATING TO SPECIAL IMPROVEMENT DISTRICT NO. 1344; DECLARING IT TO BE THE INTENTION OF THE CITY COUNCIL TO CREATE THE DISTRICT FOR THE PURPOSE OF UNDERTAKING CERTAIN LOCAL IMPROVEMENTS AND FINANCING THE COSTS THEREOF AND INCIDENTAL THERETO THROUGH THE ISSUANCE OF SPECIAL IMPROVEMENT DISTRICT BONDS SECURED BY THE CITY S SPECIAL IMPROVEMENT DISTRICT REVOLVING FUND** (the Resolution" was duly adopted by the City Council of the City at a meeting on March 13, 2000, and that the meeting was duly held by the City Council and was attended throughout by a quorum, pursuant to call and notice of such meeting given as required by law; and that the Resolution has not as of the date hereof been amended or repealed.)

I further certify that, upon vote being taken on the Resolution at said meeting, the following Councilmembers voted in favor thereof: Unanimous

voted against the same: None

or were absent: Iverson

WITNESS my hand officially this 13<sup>th</sup> day of March, 2000.



Colleen E. Schell-Berg Deputy City Clerk  
Marita Herold, CMC City Clerk

RESOLUTION NO. 00- 17542

RESOLUTION RELATING TO SPECIAL IMPROVEMENT DISTRICT NO. 1344; DECLARING IT TO BE THE INTENTION OF THE CITY COUNCIL TO CREATE THE DISTRICT FOR THE PURPOSE OF UNDERTAKING CERTAIN LOCAL IMPROVEMENTS AND FINANCING THE COSTS THEREOF AND INCIDENTAL THERETO THROUGH THE ISSUANCE OF SPECIAL IMPROVEMENT DISTRICT BONDS SECURED BY THE CITY'S SPECIAL IMPROVEMENT DISTRICT REVOLVING FUND

BE IT RESOLVED by the City Council of the City of Billings (the City), Montana, as follows:

**Section 1. Proposed Improvements; Intention To Create District.** The City proposes to undertake certain local Improvements (the "Improvements") to benefit certain property located in the City. The Improvements consist of providing Sanitary Sewer Service to Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3; Balcher Acres, Lots 1 through 6 and Lots 9 and 10; Certificate of Survey 480, Tracts A and B; Lot 7 in the NE ¼ of Section 9, T1S, R26E; and Lot 10 in the NE ¼ of Section 9, T1S, R26E, as more particularly described in Section 5 and also defined as the "Assessable Area". The total estimated costs of the Improvements are \$664,700. As used herein, the costs of the Improvements shall include the costs of construction and contingency, engineering, testing, and construction administration. The costs of the Improvements are to be paid from the following sources: (1) Special Improvement District bonds hereinafter described; and (2) \$70,099.37 of cash contribution by Vernon Drake, the owner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; and Lot 10 in the NE ¼ of Section 9, T1S, R26E. It is the intention of this Council to create and establish in the City under Montana Code Annotated, Title 7, Chapter 12, Parts 41 and 42, as amended, a Special Improvement District (the "District") for the purpose of financing costs of the Improvements and paying costs incidental thereto, including costs associated with the sale and the security of Special Improvement District bonds drawn on the District (the "Bonds"), the creation and administration of the District, the funding of a deposit to the City's Special Improvement District Revolving Fund (the "Revolving Fund"). The total estimated costs of the Improvements, including such incidental costs, to be financed by the Bonds are \$692,000. The Bonds are to be payable primarily from special assessments to be levied against property in the District, which property will be specially benefited by the Improvements in an amount not less than \$762,099.37.

**Section 2. Number of District.** The District, if the same shall be created and established, shall be known and designated as Special Improvement District No. 1344 of the City of Billings, Montana.

**Section 3. Boundaries of District.** The limits and boundaries of the District are depicted on a map attached as Exhibit B hereto (which is hereby incorporated herein and made a part hereof) and more particularly described on Exhibit C hereto (which is hereby incorporated herein and made a part hereof), which boundaries are designated and confirmed as the boundaries of the District. A listing of each of the properties in the District is shown on Exhibit D hereto (which are hereby incorporated herein and made a part hereof).

**Section 4. Benefited Property.** The District and territory included within the limits and boundaries described in Section 3 and as shown on Exhibits B, C, and D are hereby declared to be the Special Improvement District and the territory which will benefit and be benefited by the Improvements and will be assessed for the costs of the Improvements as described in Section 7. The property included within said limits and boundaries is hereby declared to be the property benefited by the Improvements.

**Section 5. General Character of the Improvements.** The general character of the Improvements is to provide the following Improvements and is setforth in Exhibit E:

Installation of a sanitary sewer collection main and service lines serving Balcher Acres and Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E in Hallowell Lane.

Installation of sanitary sewer laterals and service lines serving Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 in the alleys of these subdivisions.

**Section 6. Engineer and Estimated Cost.** Interstate Engineering, Inc.; P.O. Box 30215; Billings, MT 591087, shall be the engineer for the District. The Engineer has estimated that the costs of the Improvements, including all incidental costs, is \$762,099.37. Vernon Drake will make a cash contribution to the project in the amount of \$70,099.37 as described in Section 9(f). The remaining costs of \$692,000.00, which includes costs associated with the sale of Bonds and other incidental costs, will be financed by the sale of the Bonds as described in Section 1 and assessments to pay the Bonds will be levied against the remaining parcels in the District as shown in Exhibit D (which is attached hereto and incorporated herein) and as more fully explained in Section 7.

### **Section 7. Assessment Methods.**

**7.1. Property to be Assessed.** All properties within the district are to be assessed for the costs of the Improvements, as specified herein. The costs of the Improvements shall be assessed against the property in the District benefiting from the Improvements based on the area methods described in Section 7-12-4162, M.C.A., as particularly applied and set forth in this Section 7.

**7.1.1 Actual Area.** All properties in the District will be assessed for their proportionate share of the costs of the Improvements. All properties in the District shown on Exhibit D will be assessed for the installation of a sanitary sewer collection main in Hallowell Drive. The total estimated cost of the installation of a sanitary sewer collection main in Hallowell Drive is \$317,099.37. Vernon Drake will make a cash contribution of \$70,099.37 which represents a cash contribution toward the costs of Improvements for Lot 10 in the NE ¼ of Section 9, T1S, R26E.

The costs of the Improvements attributable to the remaining parcels in the District not making a cash contribution to the cost of the Improvements, shall consist of the full cost of the Improvements assessable against each lot for a total of \$210,268.69, plus the proportionate share of the incidental costs of issuing the Bonds (\$36,731.31). The total of \$247,000.00 shall be assessed against each lot, tract, or parcel of land in the District for that part of the costs of the Improvements that the actual area of such lot, tract or parcel bears to the total actual area of all lots, tracts, or parcels of land in the District, exclusive of Lot 10 in the NE ¼ of Section 9, T1S, R26E, streets, avenues, and alleys. The total actual area of lots to be assessed is 1,304,559 square feet. The costs of the Improvements and the properties share of the incidental costs to be financed by the Bonds assessable to the District parcels excluding Lot 10 in the NE ¼ of Section 9, T1S, R26E per square foot of actual area shall not exceed a total of \$0.189336. The assessment for each of the parcels for the Improvements is shown on Exhibit D.

**7.1.2 Lump Sum – Utility Service Connections.** Each lot, tract or parcel of land in Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 receiving a sanitary sewer connection will be assessed for their proportionate share of the costs of the Improvements.

Each lot, tract or parcel of land in Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3 will be assessed for the installation of sanitary sewer laterals and service lines serving the subdivisions. The total cost is \$445,000.00 and shall be assessed against each lot, tract, or parcel of land within Kissee Subdivision and Byrnes-Stephens Subdivision on a lump sum basis based on the bid price to be received. The lump sum assessment will not exceed \$8,557.69 per connection.

**7.2. Assessment Methodologies Equitable and Consistent With Benefit.** This Council hereby determines that the methods of assessment and the assessment of costs of the specific improvements against the properties benefited thereby as prescribed in this Section 7 are equitable in proportion to and not exceeding the special benefits derived from the respective improvements by the lots, tracts, and parcels to be assessed therefore within the District.

**Section 8. Payment of Assessments.** The special assessments for the costs of the Improvements shall be payable over a term not exceeding 15 years, each in equal semiannual installments of principal, plus interest, or equal semiannual payments of principal and interest, as this Council shall prescribe in the resolution authorizing the issuance of the Bonds. Property Owners have the right to prepay assessments as provided by law. Further, all owners shall have the opportunity to prepay their assessments prior to sale of the SID bonds.

**Section 9. Method of Financing; Pledge of Revolving Fund; Findings and Determinations.** The City will issue the Bonds in an aggregate principal amount not to exceed \$692,000 in order to finance the costs of the Improvements. Principal of and interest on the Bonds will be paid from special assessments levied against the properties in the District. This Council further finds it is in the public interest, and in the best interest of the City and the District, to secure payment of principal of and interest on the Bonds by the Revolving Fund and hereby authorizes the city to enter into the undertakings and agreements authorized in Section 7-12-4225 in respect of the Bonds.

In determining to authorize such undertakings and agreements, this Council has taken into consideration the following factors:

(a) **Estimated Market Value of Parcels.** The estimated market value of the lots, parcels, or tracts in the District as of the date of adoption of this resolution, as estimated, by the County Assessor for property tax purposes ranges from \$332 to \$90,792, and is set forth in Exhibit E. The average market value is \$47,957.36 with the median being \$49,051.00. The parcels of land that have tax codes of D-1604 and D-1610 are both 10 acre parcels that are currently unplatted and vacant. The owner of these parcels is making a cash contribution of \$70,099.37 representing the assessment for the parcel land with the tax code of D-1610. The owner of these parcels is interested in selling both parcels of land and feels they would be more marketable with the addition of sanitary sewer. Currently, a church is interested in buying one of the parcels and has gone through a special review and been approved by the City Council. The estimated market value of the lots, parcels, or tracts after the Improvements have been completed as estimated by the Engineer based on the current market values of the properties for property tax purposes, will increase as a result of the Improvements in an amount not less than the amount of proposed assessment of each lot, tract, or parcel of land. The special assessments to be levied under Section 7 against each lot, parcel, or tract in the District is less than the increase in estimated value of the lot, parcel, or tract as a result of the construction of the Improvements.

(b) **Diversity of Property Ownership.** There are 61 parcels to be assessed within the District. Of the 61 parcels, three different property owners own 6 parcels. The remaining 55 properties are owned by a wide variety of property owners.

(c) **Comparison of Special Assessments and Property Taxes and Market Value.** Based on an analysis of the aggregate amount of the proposed, any outstanding special assessments (whether or not delinquent), and any delinquent property taxes (as well as any known industrial development bonds theretofore issued and secured by a mortgage against a parcel in the District) against each lot, parcel, or tract in the District in comparison to the estimated market value of such lot, parcel, or tract after the Improvements, the City concludes that, overall, the estimated market value of the lots, tracts, or parcels of land in the District exceeds the sum of special assessments, delinquent property taxes, and current assessments and is set forth in Exhibit D.

(d) **Delinquencies.** An analysis of the amount of delinquencies in the payment of outstanding special assessments or property taxes levied against the properties in the District shows that of 61 properties, one property is delinquent and is set forth in Exhibit D. This accounts for approximately 1.6% of the total properties in the District. The delinquency is in the amount of \$956.62.

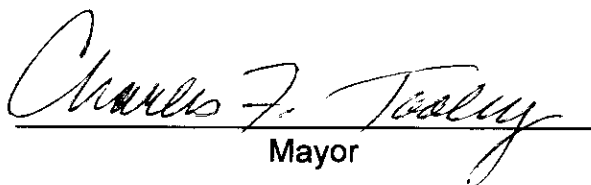
(e) **The Public Benefit of the Improvements.** The total estimated cost of installing these public improvements is \$762,099.37, the full cost of which would be recovered through direct assessments to property owners within the District and a cash contribution of \$70,099.37. The public improvements contemplated under the terms of this proposed District include the installation of sanitary sewer improvements to serve existing residential lots in the Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1,2, and 3; Balcher Acres, Lots 1 through 6 and Lots 9 and 10; Certificate of Survey 480, Tracts A and B; and Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E. These residences are presently on septic and drainfield systems. Many of the existing septic systems have failed and are on lots that are not of sufficient size to support replacement systems.

(f) **Other Factors.** As previously noted, Vernon Drake, owner of Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E, will pay a cash contribution to the project. The total cash contribution is equal to \$70,099.37 and represents 50 percent of the construction and administrative costs of the Improvements to Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E. This condition is necessary to satisfy the City's Special Improvement District Policy regarding raw land subdivision.

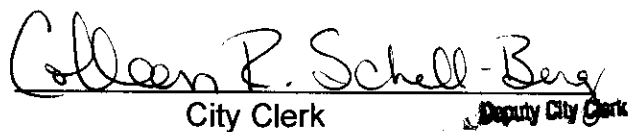
**Section 10. Public Hearing Protests.** At any time within fifteen (15) days from and after the date of the first publication of the notice of the passage and approval of this resolution, any owner of real property within the District subject to assessment and taxation for the cost and expense of making the Improvements may make and file with the City Clerk until 5:00 p.m., M.T., on the expiration date of said 15-day period (April 7, 2000), written protest against the proposed Improvements, or against the extension or creation of the District or both, and this Council will at its next regular meeting after the expiration of the fifteen (15) days in which such protests in writing can be made and filed, proceed to hear all such protests so made and filed; which said, regular meeting will be held on Monday the 10<sup>th</sup> day of April 2000, at 7:30 p.m., in the Council Chambers, at 220 North 27<sup>th</sup> Street, in Billings, Montana.

**Section 11. Notice of Passage of Resolution of Intention.** The City Clerk is hereby authorized and directed to publish or cause to be published a copy of a notice of the passage of this resolution in the Billings Times, a newspaper of general circulation in the county on March 23 and March 30, 2000, in the form and manner prescribed by law, and to mail or cause to be mailed a copy of said notice to every person, firm, corporation, or the agent of such person, firm, or corporation having real property within the District listed in his or her name upon the last completed assessment roll for state, county, and school district taxes, at his last-known address, on or before the same day such notice is first published.

PASSED AND ADOPTED by the City Council of the City of Billings, Montana, this 13<sup>th</sup> day of March 2000.

  
\_\_\_\_\_  
Mayor

Attest:

  
\_\_\_\_\_  
City Clerk      Deputy City Clerk



**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**I. SPECIAL IMPROVEMENT DISTRICT (SID) CONSTRUCTION COSTS**

<b>Project Element</b>	<b>Unit</b>	<b>Estimated Quantity</b>	<b>Unit Cost</b>	<b>Total Cost</b>
<b>Schedule A - Collection Laterals</b>				
Mobilization	LS			\$12,400.00
Bonds and Insurance	LS			\$12,400.00
Basic Manhole (48" Dia.)	LF	8	\$1,800.00	\$14,400.00
Additional Manhole Depth	VF	40	\$150.00	\$6,000.00
12" PVC Sanitary Sewer	LF		\$60.00	\$0.00
8" PVC Sanitary Sewer	LF	2800	\$40.00	\$112,000.00
6" PVC Sewer Service	LF	980	\$30.00	\$29,400.00
6" PVC Service Tee	Each	68	\$200.00	\$13,600.00
Dewatering	LS			\$20,000.00
Connect to Existing Manhole	Each		\$4,000.00	\$0.00
Type A Restoration (Asphalt)	SY	440	\$25.00	\$11,000.00
Type B Restoration (Gravel)	SY	6000	\$8.00	\$48,000.00
Type C Restoration (Seeding)	SY	1600	\$1.00	\$1,600.00
Underground Utility Crossings	Each	10	\$210.00	\$2,100.00
Exploratory Excavation	Hour	20	\$150.00	\$3,000.00
Traffic Control	LS	1	\$2,500.00	\$2,500.00
Irrigation Ditch Reconstruction	LF	670	\$10.00	\$6,700.00
Irrigation Ditch Structures	Each	3	\$1,500.00	\$4,500.00
<b>Subtotal</b>				<b>\$299,600.00</b>
<b>Contingency (10%)</b>				<b>\$30,000.00</b>
<b>Estimated Construction Cost</b>				<b>\$329,600.00</b>

<b>Project Element</b>	<b>Unit</b>	<b>Estimated Quantity</b>	<b>Unit Cost</b>	<b>Total Cost</b>
<b>Schedule B - Collection Mains</b>				
Mobilization	LS			\$8,500.00
Bonds and Insurance	LS			\$8,500.00
Basic Manhole (48" Dia.)	Each	6	\$1,800.00	\$10,800.00
Additional Manhole Depth	VF	40	\$150.00	\$6,000.00
12" PVC Sanitary Sewer	LF	1900	\$40.00	\$76,000.00
Dewatering	LS			\$10,000.00
Connect to Existing Manhole	Each	1	\$4,000.00	\$4,000.00
Type A Restoration (Asphalt)	SY	2600	\$25.00	\$65,000.00
Underground Utility Crossings	Each	30	\$210.00	\$6,300.00
Exploratory Excavation	Hour	20	\$150.00	\$3,000.00
Traffic Control	LS	1	\$7,000.00	\$7,000.00
<b>Subtotal</b>				<b>\$205,100.00</b>
<b>Contingency (10%)</b>				<b>\$20,500.00</b>
<b>Estimated Construction Cost</b>				<b>\$225,600.00</b>

**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**II. COMPUTATION OF UPFRONT CASH CONTRIBUTION FROM  
DRAKE PROPERTY (TAX CODE D-1610)**

<b>Project Element</b>	<b>Collection Lateral</b>	<b>Collection Main</b>
<b>Construction</b>		
Construction	\$299,600.00	\$205,100.00
Contingency	\$30,000.00	\$20,500.00
Total Estimated Construction Costs	\$329,600.00	\$225,600.00
Percent of Total	59.4%	40.6%
<b>Professional Fees</b>		
Engineering and Construction Administration	\$61,182.00	\$41,818.00
Material Testing During Construction	\$3,861.00	\$2,639.00
Total Estimated Professional Fees	\$65,043.00	\$44,457.00
Percent of Total	59.4%	40.6%
<b>Total District Area (sf) Including Drake Property</b>	1,740,159	
<b>Square Foot Assessments Based on Total District Size</b>		
Construction	\$0.189408	\$0.129643
Professional Fees	\$0.037378	\$0.025548
Total Estimated Square Foot Costs	\$0.226786	\$0.155191

**Upfront Cash Contribution From Drake Property**

Drake Property Area (sf)	435,600	
Share of Collection Lateral Cost	\$0.00	See Note 1
Share of Collection Main Cost		
Construction	\$56,472.49	
Professional Fees	\$11,128.71	
Trunk Sewer Construction Fee	\$2,498.50	See Note 2
1% Private Contract Fee	\$564.72	See Note 3
Total Upfront Cash Contribution	<u>\$70,664.42</u>	

Note 1 - Collection lateral costs will only be assessed to property owners in the Kissee and Bymes-Stephens subdivisions. Lot 10, therefore would not be assessed any of the costs for the collection laterals.

Note 2 - Trunk Sewer Construction Fee is based on an assessment area of 92,400 sf per PUD memo of January 14, 2000. Therefore fee equals  $(92,400 \text{ sf} * \$0.026/\text{sf}) * 1.04 = \$2,498.50$

Note 3 - 1% Private Contract Fee is based on the actual size of Drake Property and square foot construction cost. Therefore fee equals  $(435,600 \text{ sf} * \$0.129643) * 1\% = \$564.72$

**ENGINEER'S ANALYSIS OF PROBABLE COST  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SID NO. 1344**

**EXHIBIT A**

**III. ANALYSIS OF REQUIRED BOND SALE**

<b>Project Element</b>	<b>Collection Lateral</b>	<b>Collection Main</b>	<b>Combined</b>
<b>Construction Costs</b>			
Estimated Construction	\$299,600.00	\$205,100.00	
Contingency (10%)	\$30,000.00	\$20,500.00	
Less Drake Cash Contribution	\$0.00	(\$56,472.49)	
<b>Total Bondable Construction Costs</b>	<b>\$329,600.00</b>	<b>\$169,127.51</b>	<b>\$498,727.51</b>
Percent of Total	66.1%	33.9%	
<b>Professional Fees</b>			
Engineering and Construction Admin.	\$61,182.00	\$41,818.00	
Material Testing	\$3,861.00	\$2,639.00	
Less Drake Cash Contribution	\$0.00	(\$11,128.71)	
<b>Total Bondable Professional Fees</b>	<b>\$65,043.00</b>	<b>\$33,328.29</b>	<b>\$98,371.29</b>
<b>City Fees</b>			
Public Works Admin Fee (2.5% of Construction)	\$8,240.00	\$4,230.00	
Trunk Sewer Construction Fee		\$19,000.00	
Less Drake Cash Contribution	\$0.00	(\$2,498.50)	
Bond Council	\$3,300.00	\$1,700.00	
Bid Advertisement	\$660.00	\$340.00	
<b>Total Bondable City Fees</b>	<b>\$12,200.00</b>	<b>\$22,771.50</b>	<b>\$34,971.50</b>
<b>Bond Sale Costs</b>			
Bond Number (See Note 1)	444600	246200	
Bond Fee (3.5% of Bond Number)	\$15,561.00	\$8,617.00	
Revolving Fund Contribution (5% of Bond Number)	\$22,230.00	\$12,310.00	
<b>Total Bond Sale Costs</b>	<b>\$37,791.00</b>	<b>\$20,927.00</b>	<b>\$56,718.00</b>
<b>Summary of Bondable Project Costs</b>			
Construction	\$329,600.00	\$169,127.51	
Professional Fees	\$65,043.00	\$33,328.29	
City Fees	\$12,200.00	\$22,771.50	
Bond Sale Costs	\$37,791.00	\$20,927.00	
<b>Total Bondable Project Costs</b>	<b>\$444,634.00</b>	<b>\$246,154.30</b>	<b>\$690,788.30</b>
Roundoff	\$366.00	\$845.70	\$1,211.70
<b>Total Recommended Bond Sale</b>	<b>\$445,000.00</b>	<b>\$247,000.00</b>	<b>\$692,000.00</b>

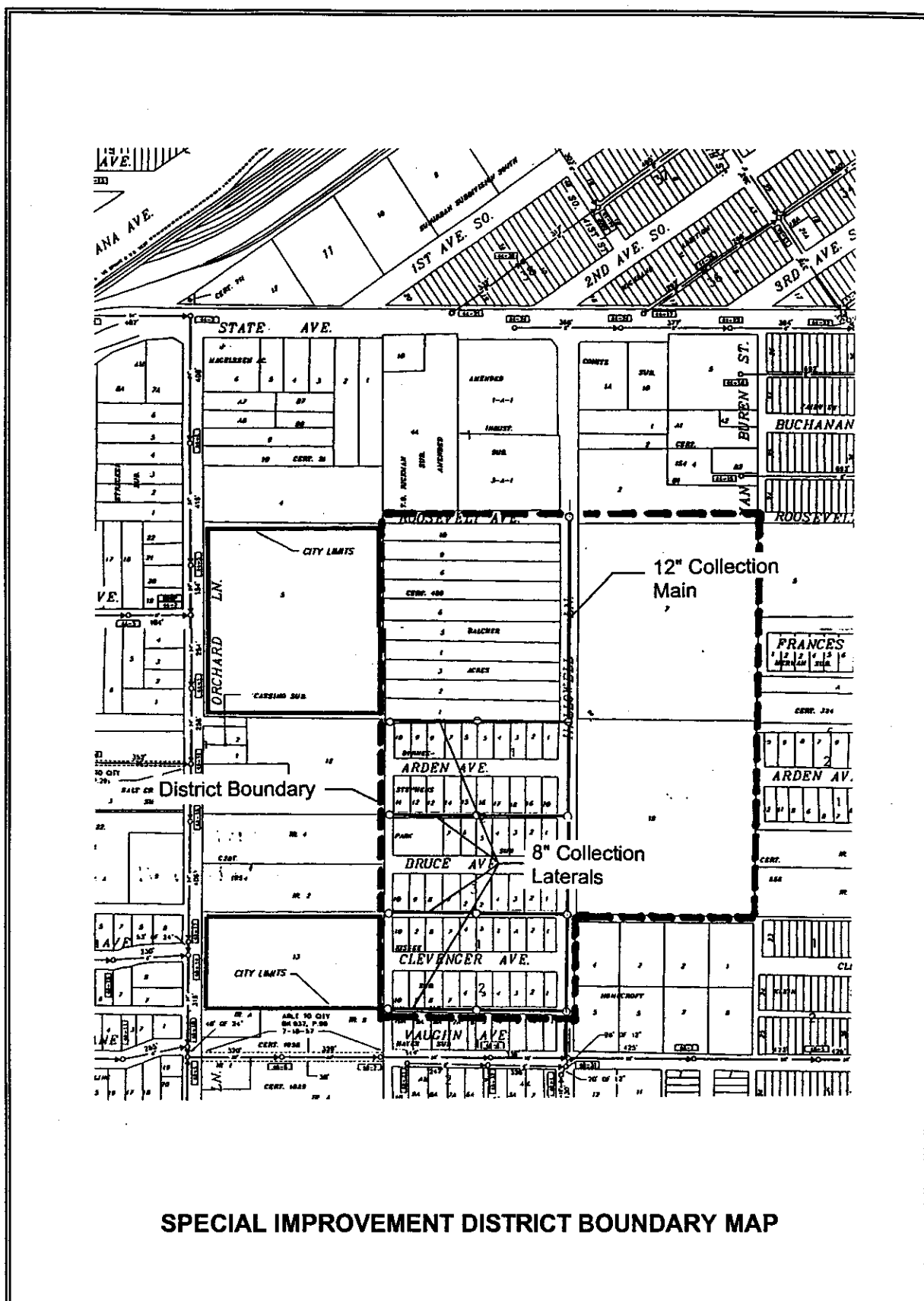
Lateral Cost Per Service Potential (See Note 2) \$8,557.692308  
Main Cost Per Square Foot (See Note 3) \$0.189336

Note 1 - Bond number is based on (Construction + Professional Fees + City Fees) / 0.915

Note 2 - Cost per service potential based on a total of 52 services in the District

Note 3 - Main cost per square foot based on the total area within the District less the area of the Drake property for an assessment area of 1,740,159 - 435,600 = 1,304,559 square feet





SPECIAL IMPROVEMENT DISTRICT BOUNDARY MAP

**LEGAL DESCRIPTION  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SPECIAL IMPROVEMENT DISTRICT NO. 1344**

BEING LOCATED IN YELLOWSTONE COUNTY, MONTANA, IN THE NE ¼ OF SECTION 9, TOWNSHIP 1 SOUTH (T1S), RANGE 26 EAST (R26E), PRINCIPAL MERIDIAN OF MONTANA, AND CONSISTING OF LOTS 1 THROUGH 10 OF THE BALCHER ACRES SUBDIVISION (WITH LOT 7 BEING AMENDED BY CERTIFICATE OF SURVEY 480); LOTS 1 THROUGH 10, BLOCK 1 OF THE BYRNES-STEPHENS SUBDIVISION; LOTS 1 THROUGH 7 AND LOTS 11 THROUGH 20, AND THE CITY PARK IN BLOCK 2 OF THE BYRNES-STEPHENS SUBDIVISION; LOTS 1 THROUGH 10, BLOCK 3 OF THE BYRNES-STEPHENS SUBDIVISION; AND LOTS 1 THROUGH 10, BLOCK 1 OF THE KISSEE SUBDIVISION; AND LOTS 1 THROUGH 10, BLOCK 2 OF THE KISSEE SUBDIVISION; AND LOT 7 AND LOT 10 IN THE NE ¼ OF SECTION 9, T1S, R26E.

Beginning at the northwest corner of Lot 10 of the Balcher Acres Subdivision thence easterly on and along north line of Lot 10 of the Balcher Acres Subdivision to the northeast corner of Lot 10 of the Balcher Acres Subdivision; thence easterly to the northwest corner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; thence easterly on and along the north line of said Lot 7 to the northeast corner of Lot 7 in the NE ¼ of Section 9, T1S, R26E; thence southerly on and along the east line of said Lot 7 to the northeast corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence southerly on and along east line of said Lot 10 to the southeast corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence westerly on and along south line of said Lot 10 to the southwest corner of Lot 10 in the NE ¼ of Section 9, T1S, R26E; thence continuing westerly along a projected line of Lot 10 to the east line of the Kissee Subdivision; thence southerly on and along the east line of Kissee Subdivision to the southeast corner of Kissee Subdivision; thence westerly on and along the south line of the Kissee Subdivision to the southwest corner of Kissee Subdivision; thence northerly on and along the west line of the Kissee Subdivision to the northwest corner of Kissee Subdivision, said point also being the southwest corner of Byrnes-Stephens Subdivision; thence northerly on and along west line of Byrnes-Stephens Subdivision to the northwest corner of Byrnes-Stephens Subdivision, said point also being the southwest corner of Lot 1 of the Balcher Acres Subdivision; thence northerly on and along west line of the Balcher Acres Subdivision to the northwest corner of Lot 10 of the Balcher Acres Subdivision and the Point of Beginning. Excepting from the above bounded area all public street and alley right-of-ways as shown on the official plats on file in the Yellowstone County Courthouse.

## SID 1344

### Exhibit D

Tax Code	SID #	SID Pay-off	Delinquent	Engineer Estimate	Total Estimate	Market Value	Estimated Market Value After Improvements
A-2625				\$ 5,943.07	\$ 5,943.07	\$ 53,775.00	\$ 59,718.07
A-2626				\$ 9,814.42	\$ 9,814.42	\$ 49,255.00	\$ 59,069.42
A-2627				\$ 18,952.72	\$ 18,952.72	\$ 86,049.00	\$ 105,001.72
A-2628				\$ 12,956.83	\$ 12,956.83	\$ 64,467.00	\$ 77,423.83
A-2629				\$ 1,908.70	\$ 1,908.70	\$ 38,427.00	\$ 40,335.70
A-2629A				\$ 5,378.47	\$ 5,378.47	\$ 7,124.00	\$ 12,502.47
A-2630				\$ 8,453.66	\$ 8,453.66	\$ 53,719.00	\$ 62,172.66
A-2631				\$ 15,513.43	\$ 15,513.43	\$ 56,482.00	\$ 71,995.43
A-3984				\$ 9,977.71	\$ 9,977.71	\$ 68,360.00	\$ 78,337.71
A-3985				\$ 9,977.71	\$ 9,977.71	\$ 29,284.00	\$ 39,261.71
A-3986				\$ 9,977.71	\$ 9,977.71	\$ 42,948.00	\$ 52,925.71
A-3987				\$ 9,977.71	\$ 9,977.71	\$ 45,368.00	\$ 55,345.71
A-3988				\$ 9,977.71	\$ 9,977.71	\$ 39,420.00	\$ 49,397.71
A-3989				\$ 9,977.71	\$ 9,977.71	\$ 45,936.00	\$ 55,913.71
A-3990				\$ 9,977.71	\$ 9,977.71	\$ 38,892.00	\$ 48,869.71
A-3991				\$ 9,977.71	\$ 9,977.71	\$ 40,912.00	\$ 50,889.71
A-3992				\$ 9,977.71	\$ 9,977.71	\$ 59,012.00	\$ 68,989.71
A-3993				\$ 10,013.31	\$ 10,013.31	\$ 51,611.00	\$ 61,624.31
A-3994				\$ 11,397.73	\$ 11,397.73	\$ 90,792.00	\$ 102,189.73
A-3995				\$ 9,977.71	\$ 9,977.71	\$ 43,992.00	\$ 53,969.71
A-3996				\$ 9,977.71	\$ 9,977.71	\$ 33,544.00	\$ 43,521.71
A-3997				\$ 9,977.71	\$ 9,977.71	\$ 38,953.00	\$ 48,930.71
A-3998				\$ 9,977.71	\$ 9,977.71	\$ 40,612.00	\$ 50,589.71
A-3999				\$ 9,977.71	\$ 9,977.71	\$ 41,760.00	\$ 51,737.71
A-4000				\$ 10,013.31	\$ 10,013.31	\$ 43,703.00	\$ 53,716.31
A-4001				\$ 9,977.71	\$ 9,977.71	\$ 49,240.00	\$ 59,217.71
A-4002				\$ 9,977.71	\$ 9,977.71	\$ 59,784.00	\$ 69,761.71
A-4003				\$ 9,977.71	\$ 9,977.71	\$ 45,172.00	\$ 55,149.71
A-4004				\$ 9,977.71	\$ 9,977.71	\$ 9,801.00	\$ 19,778.71
A-4005				\$ 9,977.71	\$ 9,977.71	\$ 77,859.00	\$ 87,836.71
A-4006				\$ 11,397.73	\$ 11,397.73	\$ 75,144.00	\$ 86,541.73
A-4007			\$ 956.62	\$ 11,397.73	\$ 12,354.35	\$ 63,374.00	\$ 74,771.73
A-4007A				\$ 21,411.04	\$ 21,411.04	\$ 26,043.00	\$ 47,454.04
A-4008				\$ 11,372.36	\$ 11,372.36	\$ 64,191.00	\$ 75,563.36
A-4009				\$ 9,965.59	\$ 9,965.59	\$ 38,043.00	\$ 48,008.59
A-4010				\$ 9,965.97	\$ 9,965.97	\$ 49,951.00	\$ 59,916.97
A-4011				\$ 9,966.35	\$ 9,966.35	\$ 47,187.00	\$ 57,153.35
A-4012				\$ 9,966.54	\$ 9,966.54	\$ 51,939.00	\$ 61,905.54
A-4013				\$ 9,966.92	\$ 9,966.92	\$ 42,419.00	\$ 52,385.92
A-4014				\$ 10,158.53	\$ 10,158.53	\$ 50,571.00	\$ 60,729.53
A-4015				\$ 9,991.72	\$ 9,991.72	\$ 32,759.00	\$ 42,750.72

Tax Code	SID #	SID Pay-off	Delinquent	Engineer Estimate	Total Estimate	Market Value	Estimated Market Value After Improvements
A-4016				\$ 10,027.89	\$ 10,027.89	\$ 37,219.00	\$ 47,246.89
A-9625				\$ 11,943.59	\$ 11,943.59	\$ 51,443.00	\$ 63,386.59
A-9625A				\$ 10,031.11	\$ 10,031.11	\$ 49,051.00	\$ 59,082.11
A-9626				\$ 10,031.29	\$ 10,031.29	\$ 48,496.00	\$ 58,527.29
A-9626A				\$ 9,983.96	\$ 9,983.96	\$ 47,039.00	\$ 57,022.96
A-9627				\$ 9,984.15	\$ 9,984.15	\$ 59,868.00	\$ 69,852.15
A-9627A				\$ 10,340.86	\$ 10,340.86	\$ 58,363.00	\$ 68,703.86
A-9628				\$ 9,984.34	\$ 9,984.34	\$ 50,599.00	\$ 60,583.34
A-9629				\$ 10,460.33	\$ 10,460.33	\$ 65,675.00	\$ 76,135.33
A-9630				\$ 10,013.31	\$ 10,013.31	\$ 59,568.00	\$ 69,581.31
A-9631				\$ 9,977.71	\$ 9,977.71	\$ 54,716.00	\$ 64,693.71
A-9632				\$ 9,977.71	\$ 9,977.71	\$ 47,628.00	\$ 57,605.71
A-9633				\$ 9,977.71	\$ 9,977.71	\$ 50,896.00	\$ 60,873.71
A-9634				\$ 9,977.71	\$ 9,977.71	\$ 45,812.00	\$ 55,789.71
A-9635				\$ 11,397.73	\$ 11,397.73	\$ 60,276.00	\$ 71,673.73
A-9636				\$ 9,977.71	\$ 9,977.71	\$ 48,656.00	\$ 58,633.71
A-9637				\$ 9,977.71	\$ 9,977.71	\$ 50,356.00	\$ 60,333.71
A-9638				\$ 9,977.71	\$ 9,977.71	\$ 51,200.00	\$ 61,177.71
D-1604				\$ 82,474.78	\$ 82,474.78	\$ 332.00	\$ 82,806.78
D-1610				\$ 70,099.37	\$ 70,099.37	\$ 332.00	\$ 70,431.37
<b>Average</b>		\$ -	\$ 956.62	\$ 12,493.43	\$ 12,509.11	\$ 47,957.36	\$ 60,450.79
<b>Median</b>		\$ -	\$ 956.62	\$ 9,977.71	\$ 9,977.71	\$ 49,051.00	\$ 59,217.71
<b>Low</b>		\$ -	\$ 956.62	\$ 1,908.70	\$ 1,908.70	\$ 332.00	\$ 12,502.47
<b>Hgh</b>		\$ -	\$ 956.62	\$ 82,474.78	\$ 82,474.78	\$ 90,792.00	\$ 105,001.72

**DESCRIPTION OF IMPROVEMENTS  
FOR  
HALLOWELL LANE SANITARY SEWER IMPROVEMENTS  
SPECIAL IMPROVEMENT DISTRICT NO. 1344**

This project will construct sanitary sewer improvements to serve existing residential lots in the Kissee Subdivision, Blocks 1 and 2; Byrnes-Stephens Subdivision, Blocks 1, 2 and 3; Blacher Acres, Lots 1-6 and Lots 9-10; Certificate of Survey 480, Tracts A and B; and Lots 7 and 10 in the NE ¼ of Section 9, T1S, R26E.

These residences are presently on septic and drainfield systems. Many of the existing septic systems have failed and are on lots that are not of sufficient size to support replacement systems.

Date: February 23, 2000

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

TAX CODE NUMBER	OWNER AS OF LAST TAX ROLL MAILING ADDRESS	LEGAL DESCRIPTION (SUBDIVISION/LOT/BLOCK)	ASSESSMENT AREA (SQUARE FEET)
A-9625	Dallas W. McColley Sharon G. McColley 304 Hallowell Lane Billings, MT 59101-5009	Lots 1, 2, and the east 21 feet of Lot 3, Block 1, Kissee Sub.	17883
A-9625A	Marilan A. Schaefer 4217 Clevenger Avenue Billings, MT 59101-5006	The west 39 feet of Lot 3 and the east 23 feet of Lot 4, Block 1, Kissee Sub.	7782
A-9626	George F. Wollenburg Martha L. Wollenburg 4221 Clevenger Avenue Billings, MT 59101-5006	The west 37 feet of Lot 4 and the east 25 feet of Lot 5, Block 1, Kissee Sub.	7783
A-9626A	Paul W. Hartman Wanda L. Hartman 4225 Clevenger Avenue Billings, MT 59101-5006	The west 35 feet of Lot 5 and the east 25 feet of Lot 6, Block 1, Kissee Sub.	7533

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

SID NUMBER	Owner	Address	Description	Assessment
A-9627	Gloria J. Soto, Trustee Of the Gloria J. Soto Revocable Trust	4229 Clevenger Avenue Billings, MT 59101-5066	The west 35 feet of Lot 6 and the east 25 feet of Lot 7, Block 1, Kissee Sub.	7534
A-9627A	Scott A. Huck Anna M. Huck	4233 Clevenger Avenue Billings, MT 59101-5006	The west 35 feet of Lot 7 and the east 40 feet of Lot 8, Block 1, Kissee Sub.	9418
A-9628	Cecelia M. Bender	4237 Clevenger Avenue Billings, MT 59101-5006	The west 20 feet of Lot 8 and the east 40 feet of Lot 9, Block 1, Kissee Sub.	7535
A-9629	Andrew R. Minchew Patricia L. Minchew	4241 Clevenger Avenue Billings, MT 59101-5006	The west 20 feet of Lot 9 and all of Lot 10, Block 1, Kissee Sub.	10049
A-9630	Timothy J. O'Brien	4204 Clevenger Avenue Billings, MT 59101-5005	Lot 1, Block 2, of Kissee Sub.	7688

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

Account Number	Owner Name	Address	Lot Description	Assessment Value
A-9631	James F. Jacobs Regina M. Jacobs	4208 Clevenger Avenue Billings, MT 59101-5005	Lot 2, Block 2, of Kissee Sub.	7500
A-9632	Ronald H. Jenness Delores Jenness	4212 Clevenger Avenue Billings, MT 59101-5005	Lot 3, Block 2, of Kissee Sub.	7500
A-9633	Matthew D. Ingold	4216 Clevenger Avenue Billings, MT 59101-5005	Lot 4, Block 2, of Kissee Sub.	7500
A-9634	David W. Stephens Gertrude E. Stephens	10 North Street Glen Cove, NY 11542-1834	Lot 5, Block 2, of Kissee Sub.	7500
A-9635	Joseph E. Drube Diane I. Drube	4224 Clevenger Avenue Billings, MT 59101-5005	Lots 6 and 7, Block 2, of Kissee Sub.	15000
A-9636	Robyn Robbins	4234 Clevenger Avenue Billings, MT 59101-5005	Lot 8, Block 2, of Kissee Sub.	7500



**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-9637	Andrew Gustafson Edna V. Gustafson 4238 Cleverger Avenue Billings, MT 59101-5005	Lot 9, Block 2, of Kissee Sub.	7500
A-9638	Cecil C. Hughs Jean Hughs 4242 Cleverger Avenue Billings, MT 59105-5005	Lot 10, Block 2, of Kissee Sub.	7500
A-3984	Dawn Remnick 206 Hallowell Lane Billings, MT 59101-5007	Lot 1, Block 1, of Byrnes- Stephens Sub.	7500
A-3985	John R. Brunn Deanna C. Brunn 4209 Arden Avenue Billings, MT 59101-5002	Lot 2, Block 1, of Byrnes- Stephens Sub.	7500
A-3986	Pamela S. Chapin Mitchell S. Chapin 4211 Arden Avenue Billings, MT 59101-5002	Lot 3, Block 1, of Byrnes- Stephens Sub.	7500

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-3987	Marcus A. Kindstater Kerri A. Kindstater 4215 Arden Avenue Billings, MT 59101-5002	Lot 4, Block 1, of Byrnes- Stephens Sub.	7500
A-3988	A. Lloyd Marsh 4219 Arden Avenue Billings, MT 59101-5002	Lot 5, Block 1, of Byrnes- Stephens Sub.	7500
A-3989	Craig S. Senn Kristine Senn 4225 Arden Avenue Billings, MT 59101-5002	Lot 6, Block 1, of Byrnes- Stephens Sub.	7500
A-3990	Lillian F. Wilson Donna M. Thayer 4229 Arden Avenue Billings, MT 59101-5002	Lot 7, Block 1, of Byrnes- Stephens Sub.	7500
A-3991	John J. Bender Helen M. Bender Janice M. Wrigg Roger A. Bender 112 Hollowell Lane Billings, MT 59101-5018	Lot 8, Block 1, of Byrnes- Stephens Sub.	7500

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-3992	Troy L. Calhoun Geraldine A. Calhoun 4243 Arden Avenue Billings, MT 59101-5002	Lot 9, Block 1, of Byrnes- Stephens Sub.	7500
A-3993	Claire E. Hughes Ethel C. Hughes 4525 Arden Avenue Billings, MT 59101-5004	Lot 10, Block 1, of Byrnes- Stephens Sub.	7688
A-3994	John A. Leichner 1029 9th Avenue Laurel, MT 59044	Lots 1 & 2, Block 2, of Byrnes- Stephens Sub.	15000
A-3995	Alvin H. Schoessler Marie K. Schoessler 4211 Bruce Avenue Billings, MT 59101	Lot 3, Block 2, of Byrnes- Stephens Sub.	7500
A-3996	Todd M. Kleen Shelly L. Kleen 4217 Bruce Avenue Billings, MT 59101	Lot 4, Block 2, of Byrnes- Stephens Sub.	7500

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-3997	Steven M. Renner Hope S. Renner 4221 Bruce Avenue Billings, MT 59101-5004	Lot 5, Block 2, of Byrnes- Stephens Sub.	7500
A-3998	Joshua G. Watts Heather E. M. Watts 4225 Bruce Avenue Billings, MT 59101-5004	Lot 6, Block 2, of Byrnes- Stephens Sub.	7500
A-3999	Ronald K. Schultz Mavis A. Schultz Timothy Kay Schultz 4231 Bruce Avenue Billings, MT 59101-5004	Lot 7, Block 2, of Byrnes- Stephens Sub.	7500
A-4007A	City of Billings P.O. Box 1178 Billings, MT 59103-1178	Park in Block 2 of Byrnes- Stephens Sub.	22688
A-4000	Donald W. Thompson Janis L. Thompson 4246 Arden Avenue Billings, MT 59101-5001	Lot 11, Block 2, of Byrnes- Stephens Sub.	7688

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-4001	Stephanie K. Fisher Paul E. Swartz 4240 Arden Avenue Billings, MT 59101-5001	Lot 12, Block 2, of Byrnes- Stephens Sub.	7500
A-4002	Rose Ann E. Fetting 4236 Arden Avenue Billings, MT 59101-5001	Lot 13, Block 2, of Byrnes- Stephens Sub.	7500
A-4003	August Schaefer 4230 Arden Avenue Billings, MT 59101-5001	Lot 14, Block 2, of Byrnes- Stephens Sub.	7500
A-4004	Kenneth W. Papka Debra Papka 4226 Arden Avenue Billings, MT 59101-5001	Lot 15, Block 2, of Byrnes- Stephens Sub.	7500
A-4005	Kenneth W. Papka Debra Papka 4226 Arden Avenue Billings, MT 59101-5001	Lot 16, Block 2, of Byrnes- Stephens Sub.	7500
A-4006	Kenneth M. Ehrmantraut Nanette Ehrmantraut 4216 Arden Avenue Billings, MT 59101-5001	Lots 17 & 18, Block 2, of Byrnes-Stephens Sub.	15000

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

SID	Owner Name	Address	Assessment Area	Value
A-4007	Darryl Deck (1/3 Int) Thomas M. Abbey (1/3 Int) Kevin Richau (1/3 Int)	9 Stanford Court Billings, MT 59102-1778	Lots 19 & 20, Block 2, of Byrnes-Stephens Sub.	15000
A-4008	Teresa L. Hagestad	4204 Bruce Avenue Billings, MT 59101-1003	Lots 1 & 2, Block 3, of Byrnes-Stephens Sub.	14866
A-4009	Mark A. Greenfield Dawn E. Greenfield	4212 Bruce Avenue Billings, MT 59101-5003	Lot 3, Block 3, of Byrnes- Stephens Sub.	7436
A-4010	Cristine A. Ruckman	4218 Bruce Avenue Billings, MT 59101-5003	Lot 4, Block 3, of Byrnes- Stephens Sub.	7438
A-4011	James R. Pool Carla R. Pool	4222 Bruce Avenue Billings, MT 59101-5003	Lot 5, Block 3, of Byrnes- Stephens Sub.	7440
A-4012	Duane M. Ketchum	4228 Bruce Avenue Billings, MT 59101-5003	Lot 6, Block 3, of Byrnes- Stephens Sub.	7441

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA**  
**PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-4013	Amelia J. Ruff 4232 Bruce Avenue Billings, MT 59101-5003	Lot 7, Block 3, of Byrnes- Stephens Sub.	7443
A-4014	Harley L. Schrab Sheri L. Schrab 4234 Bruce Avenue Billings, MT 59101-5003	Lot 8, Block 3, of Byrnes- Stephens Sub.	8455
A-4015	Sheila J. Dockter Merle Dockter 4244 Bruce Avenue Billings, MT 59101-5003	Lot 9, Block 3, of Byrnes- Stephens Sub.	7574
A-4016	Robert L. Maxwell Pamela E. Maxwell 4248 Bruce Avenue Billings, MT 59101-5003	Lot 10, Block 3, of Byrnes- Stephens Sub.	7765
A-2625	Charles J. Netterberg, Jr. 150 Hallowell Lane Billings, MT 59101-5018	The east 475 feet of Lot 1, Balcher Acres	31389
A-2626	Pirtz Partnership Properties 2711 Patricia Lane Billings, MT 59102-1317	The west 154.8 feet of Lot 1 and all of Lot 2, Balcher Acres	51836

**CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION**

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

Account Number	Owner Name	Property Address	Assessment Description	Assessment Amount
A-2627	Keith J. Bauer Debbie L. Bauer	136 Hallowell Lane Billings, MT 59101-5018	Lots 3 & 4 and the south 27 feet of Lot 5, Balcher Acres	100101
A-2628	Dalton A. Perry	124 Hallowell Lane Billings, MT 59101-5018	The north 39 feet of Lot 5 and all of Lot 6, Balcher Acres	68433
A-2630	John J. Bender Helen M. Bender Janice M. Wrigg Roger A. Bender	112 Hallowell Lane Billings, MT 59101-5018	The north 5 feet of Lot 7 and all of Lot 8, Balcher Acres	44649
A-2631	Gilbert Romero, Jr. Dianna J. Romero	110 Hallowell Lane Billings, MT 59101-5018	Lots 9 & 10, Balcher Acres	81936
A-2629	Don L. Crawford	116 Hallowell Lane Billings, MT 59101-5018	Tract A, Balcher Acres (C/S 480 in Balcher Acres Tract 7)	10081



EXHIBIT F1

CITY OF BILLINGS - SPECIAL IMPROVEMENT DISTRICT ASSESSMENT DATA  
PART I - OWNERSHIP INFORMATION

SID NUMBER: 1344

SID Description: Sanitary Sewer Improvements

DATE: February 23, 2000

A-2629A	Jesme-Lowe, Inc. James W. Lowe Derald J. Jesme 750 Broadwater Avenue Billings, MT 59101-2710	Tract B, Balcher Acres (C/S 480 in Balcher Acres Tract 7)	28407
D-1604	Vernon L. Drake, Trustee V L D Trust Le Roy Fradet Katherine B. Fradet 3111 Rugby Drive Billings, MT 59102-0749	Lot 7, in the NE1/4 Section 9-Township 1 South Range 26 East	435600
D-1610	Le Roy V. Fradet Katherine B. Fradet Vernon L. Drake, Trustee V L D Trust 3111 Rugby Drive Billings, MT 59102-0749	Lot 10, in the NE1/4 Section 9-Township 1 South Range 26 East	Zero

**CITY OF BILLINGS, MONTANA  
SPECIAL IMPROVEMENT DISTRICT  
PART II -ASSESSMENT DATA**

Date: February 23, 2000

**Consultant to Complete**

Data Processing  
Cards Columns

S.I.D. No. 1344

A & B 2 - 5

S.I.D. Description Sanitary Sewer Improvements

A 6 - 39

Years To Be Assessed 15

A 48 - 49

Total S.I.D. Area 1,304,559 square feet

A 50 - 60

- Estimated From Preliminary Plans
- Estimated Per Bid Prices
- Final Per Actual Construction

**S.I.D. Improvement Costs**

**Special Additions**

Code	Quantity	Unit	Unit Cost	Total
1 Curb and Gutter	_____	_____	_____	_____
2 Drive Approach	_____	_____	_____	_____
3 Water Service	_____	_____	_____	_____
4 Sidewalk	_____	_____	_____	_____
6 Alley Improvement	_____	_____	_____	_____
7 Service Potential	52	Each	\$8,557.6923	\$445,000.00
8 Collection Main	1,304,559	SF	0.189336	\$247,000.00
9 Other	_____	_____	_____	_____
<b>Total Project Cost</b>				<b>\$692,000.00</b>

A 24 - 56

A 58 - 90

(All Costs To Include Prorata Share of Administrative Costs)

**City Central Support Services to Complete**

First Year To Be Assessed \_\_\_\_\_

A 40 - 41

Type Assessment \_\_\_\_\_ Pending \_\_\_\_\_

A 42

Interest Rate \_\_\_\_\_

A 42 - 41

Bond Issue Date \_\_\_\_\_

A 62 - 67

**CITY OF BILLINGS**  
**SPECIAL IMPROVEMENTS DISTRICT**  
**PART III - ASSESSMENT DATA**

SID COSTS  
 X  
 Estimated From Preliminary Plans  
 Estimated Per Bid Prices  
 Final Per Actual Construction

Date: 23-Feb-00 EXHIBIT F3  
 S.I.D. No.: 1344  
 Completed By: Craig Canfield  
 Consulting Firm: Interstate Engineering

Account Number	Service Unit	Collection Laterals		Total Cost	Lot Area (SF)	Collector Mains		Total Cost	Improvement Costs
		Cost Per Service Unit	Total Cost			Cost Per Square Foot	Total Cost		
A-9625	1	\$8,557.6923	\$8,557.69	17883	\$0.1893360	\$3,385.90	\$11,943.59		
A-9625A	1	\$8,557.6923	\$8,557.69	7782	\$0.1893360	\$1,473.41	\$10,031.11		
A-9626	1	\$8,557.6923	\$8,557.69	7783	\$0.1893360	\$1,473.60	\$10,031.29		
A-9626A	1	\$8,557.6923	\$8,557.69	7533	\$0.1893360	\$1,426.27	\$9,983.96		
A-9627	1	\$8,557.6923	\$8,557.69	7534	\$0.1893360	\$1,426.46	\$9,984.15		
A-9627A	1	\$8,557.6923	\$8,557.69	9418	\$0.1893360	\$1,783.17	\$10,340.86		
A-9628	1	\$8,557.6923	\$8,557.69	7535	\$0.1893360	\$1,426.65	\$9,984.34		
A-9629	1	\$8,557.6923	\$8,557.69	10049	\$0.1893360	\$1,902.84	\$10,460.33		
A-9630	1	\$8,557.6923	\$8,557.69	7688	\$0.1893360	\$1,455.62	\$10,013.31		
A-9631	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9632	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9633	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9634	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9635	1	\$8,557.6923	\$8,557.69	15000	\$0.1893360	\$2,840.04	\$11,397.73		
A-9636	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9637	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9638	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9638A	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9638B	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-9638C	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-3987	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-3988	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-3989	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		
A-3990	1	\$8,557.6923	\$8,557.69	7500	\$0.1893360	\$1,420.02	\$9,977.71		

**CITY OF BILLINGS  
SPECIAL IMPROVEMENTS DISTRICT  
PART III - ASSESSMENT DATA**

SID COSTS  
 Estimated From Preliminary Plans  
 Estimated Per Bid Prices  
 Final Per Actual Construction

Date: 23-Feb-06 **EXHIBIT F3**  
 S.I.D. No.: 1324  
 Completed By: Craig Co.  
 Consulting Firm: Interstate Engineering

Account Number	Service Units	Collection Rate		Total Cost	Area (Sq Ft)	Collector Rate		Total Cost	Improvement Cost
		Cost Per Service Unit	Rate			Cost Per Square Foot	Rate		
A-3991	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-3992	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-3993	1	\$8,557.6923		\$8,557.69	7688	\$0.1893360		\$1,455.62	\$10,013.31
A-3994	1	\$8,557.6923		\$8,557.69	15000	\$0.1893360		\$2,840.04	\$11,397.73
A-3995	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-3996	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-3997	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-3998	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4007A	2	\$8,557.6923		\$17,115.38	22688	\$0.1893360		\$4,295.66	\$21,411.04
A-4000	1	\$8,557.6923		\$8,557.69	7688	\$0.1893360		\$1,455.62	\$10,013.31
A-4001	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4002	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4003	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4004	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4005	1	\$8,557.6923		\$8,557.69	7500	\$0.1893360		\$1,420.02	\$9,977.71
A-4006	1	\$8,557.6923		\$8,557.69	15000	\$0.1893360		\$2,840.04	\$11,397.73
A-4007	1	\$8,557.6923		\$8,557.69	15000	\$0.1893360		\$2,840.04	\$11,397.73
A-4008	1	\$8,557.6923		\$8,557.69	14866	\$0.1893360		\$2,814.67	\$11,372.36
A-4009	1	\$8,557.6923		\$8,557.69	7436	\$0.1893360		\$1,407.90	\$9,965.59
A-4010	1	\$8,557.6923		\$8,557.69	7438	\$0.1893360		\$1,408.28	\$9,965.97
A-4011	1	\$8,557.6923		\$8,557.69	7440	\$0.1893360		\$1,408.66	\$9,966.35
A-4012	1	\$8,557.6923		\$8,557.69	7441	\$0.1893360		\$1,408.85	\$9,966.54
A-4013	1	\$8,557.6923		\$8,557.69	7443	\$0.1893360		\$1,409.23	\$9,966.92
A-4014	1	\$8,557.6923		\$8,557.69	8455	\$0.1893360		\$1,600.84	\$10,158.53

**CITY OF BILLINGS  
SPECIAL IMPROVEMENTS DISTRICT  
PART III - ASSESSMENT DATA**

SID COSTS

X  Estimated From Preliminary Plans  
 Estimated Per Bid Prices  
 Final Per Actual Construction

Date: 23-Feb-00 EXHIBIT F3  
 S.I.D. No.: 1344  
 Completed By: Craig Canfield  
 Consulting Firm: Interstate Engineering

Service Unit	COLLECTION DETAILS		COLLECTION TERMS		IMPROVEMENT COSTS
	Cost Per Service Unit	Total Cost	Cost Per Square Foot	Total Cost	
A-4015	1	\$8,557.6923	\$0.1893360	\$1,434.03	\$9,991.72
A-4016	1	\$8,557.6923	\$0.1893360	\$1,470.19	\$10,027.89
A-2625			\$0.1893360	\$5,943.07	\$5,943.07
A-2626			\$0.1893360	\$9,814.42	\$9,814.42
A-2627			\$0.1893360	\$18,952.72	\$18,952.72
A-2628			\$0.1893360	\$12,956.83	\$12,956.83
A-2630			\$0.1893360	\$8,453.66	\$8,453.66
A-2631			\$0.1893360	\$15,513.43	\$15,513.43
A-2629			\$0.1893360	\$1,908.70	\$1,908.70
A-2629A			\$0.1893360	\$5,378.47	\$5,378.47
D-1604			\$0.1893360	\$82,474.78	\$82,474.78
D-1610			\$0.00	\$0.00	\$70,099.37
<b>52</b>		<b>\$445,000.00</b>	<b>304559</b>	<b>\$247,000.00</b>	<b>\$762,099.37</b>

Collection Lateral Cost per Service Unit \$8,557.6923  
 Collection Main Cost per Square Foot \$0.1893360